

## V. DESIGN GUIDELINES FOR ALTERATIONS AND ADDITIONS AND DETACHED NEW CONSTRUCTION

*New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

(Secretary of the Interior's Standard #9.)

*New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

(Secretary of the Interior's Standard #10)

The primary goal for alterations and additions to historic structures is to preserve the character-defining elements of the building. Alterations and additions should compliment the original structure and should not destroy the essential elements of the building and its site. New buildings should be harmonious in form, material, siting, and scale with the established district character.

The City of Little Rock encourages both the rehabilitation of existing structures in the downtown neighborhoods and the construction of new infill structures on vacant property within these same neighborhoods. While the proper rehabilitation of existing structures is a critical element in maintaining the historic context of the neighborhoods, some may need additions in order to meet current needs as a residence or business. It is just as important that the construction of new infill structures maintain that same historical context. Historic District Infill Development Plan: Little Rock, Arkansas, by Heiple and Wiedower Architects and Planners, was written in 2000 to encourage appropriate new construction after a tornado destroyed much housing stock in the downtown historic districts. The publication provides examples of a variety of residences which blend with the context of historic neighborhoods, while providing the amenities required in a modern residence.

As an historic district evolves, individual structures may see new uses. Single-family houses may become offices or apartments. Corner stores and fire stations may become homes. Zoning codes apply to the use of structures and are beyond the jurisdiction of the Historic District Commission. However, if a structure changes its function, attempts should be made to retain the character-defining elements visible from the street and to minimize the adaptations (mailboxes, signs, new entrances, etc.) Guidelines for rehabilitation and additions would apply to adaptive reuse as they apply to continued use.

### A. ALTERATIONS OR ADDITIONS TO HISTORIC STRUCTURES

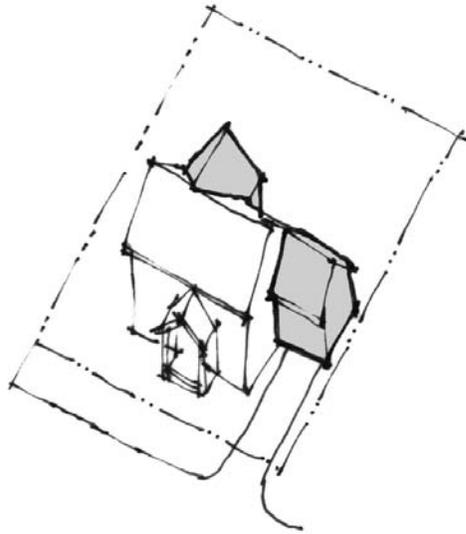
*New additions, exterior alterations... shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

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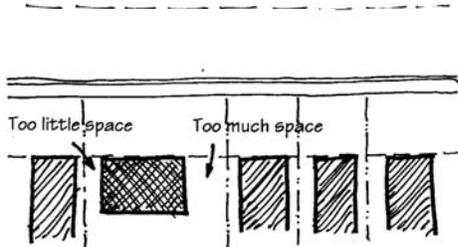
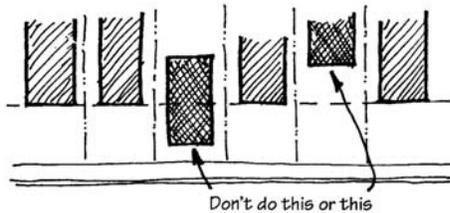
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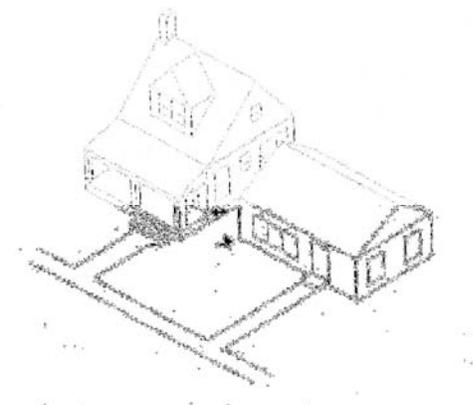
Objective: Alterations or additions to historic structures should be appropriate to the style of the building, neither destroy nor copy elements of the structure, and be reversible without destroying the integrity of the structure.



*Proper addition locations*



*New Construction Setbacks*



*New construction should maintain typical foundation heights. The house on the right is too low.*

## 1. Historic Alterations

Alterations, which are old enough to have achieved historic significance in themselves, may be preserved. Many changes to buildings that have occurred in the course of time are themselves evidence of the history of the building and its neighborhood. These changes may have developed significance in their own right, and this significance should be recognized and respected. An example of such an alteration may be a porch or kitchen wing that was added to the original building early in its history.

More recent alterations, which are not historically significant, may be removed within the Certificate of Appropriateness (COA) process.

## 2. New Alterations

New alterations should be designed to respect the original design character of the building. Analyze the structure to determine which elements are essential to its character, considering mass, size, scale, and proportion to the lot. Don't try to make it appear older (or younger) in style than it really is. The genuine heritage of the District should be expressed.

## 3. Additions (New Rooms)

Additions should be of a compatible design, in keeping with the original structure's character, roof shape, materials, and the alignment of window, door, and cornice height. Additions include porches and bay windows, as well as entire wings or rooms. They should be located on the rear façade and be subordinate to the original structure.

Additions should be constructed in a manner that avoids extensive removal or loss of historic materials. They also should not destroy or damage character-defining details, including front or side porches.

Additions should not hinder the ability to interpret the design character of the structure's historic period. Avoid imitating an earlier historic style or architectural period. Also avoid copying exactly the historic structure; instead, distinguish the new from the original, perhaps by simplifying or streamlining the new design. If possible, keep original exterior walls and utilize existing openings for connecting an addition with the original structure. Excavation adjacent to historic foundations should take care to avoid undermining the structural stability of the historic structure.

## B. NEW CONSTRUCTION OF PRIMARY AND SECONDARY BUILDINGS

*...related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

(Secretary of the Interior's Standard #9)

*...related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

(Secretary of the Interior's Standard #10)

New construction of primary and secondary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings in the neighborhood. Although they should blend with adjacent buildings, they should not be too imitative of historic styles so that they may be distinguished from historic buildings. (Note: A new building becomes too imitative through application of historic architectural decoration, such as gingerbread, vergeboards, dentils, fish-scale shingles, etc. These kinds of details are rarely successful on a new building. They fail to be accurate, usually too small and disproportionate versions of authentic ones, and should be avoided.)

New construction of secondary structures, such as garages or other outbuildings, should be smaller in scale than the primary building; should be simple in design but reflect the general character of the primary building; should be located as traditional for the neighborhood (near the alley instead of close to or attached to the primary structure); and should be compatible in design, form, materials, and roof shape.

### 1. Building Orientation:

The façade of the new building should be aligned with the established setbacks of the area. Side and rear setbacks common to the neighborhood should be upheld.

### 2. Building Mass and Scale:

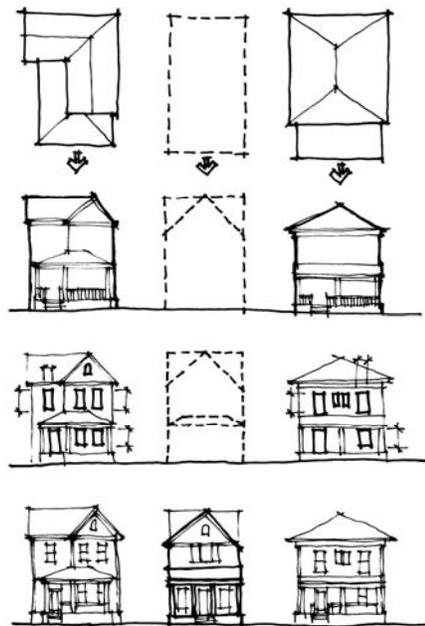
New buildings should appear similar in mass and scale with historic structures in the area. This includes height and width.

### 3. Building Form

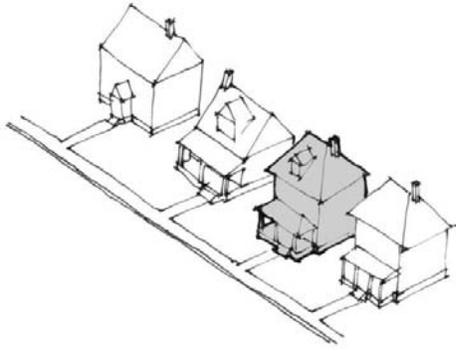
Basic building forms and roof shapes, including pitch, which match those used historically in the area should be used. Location and proportions of entrances, windows, divisional bays, and porches are important. Also consider heights (foundation, floor-to-ceiling, porch height and depth.)

### 4. Building Materials

Building materials that are similar to those used historically for major surfaces in the area should be used. Materials for roofs should be similar in



*Overall Height, building element height and proportion/shape should be compatible with existing structures.*

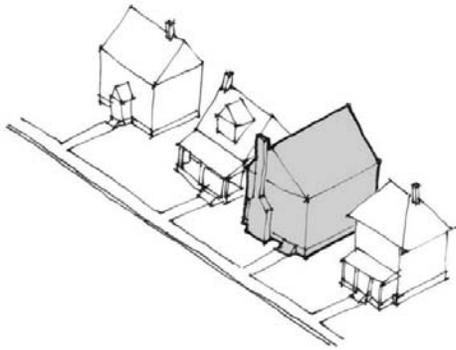


*The second house from the right is compatible with the other three houses in orientation to the street, massing, height, floor to ceiling heights, and foundation heights.*

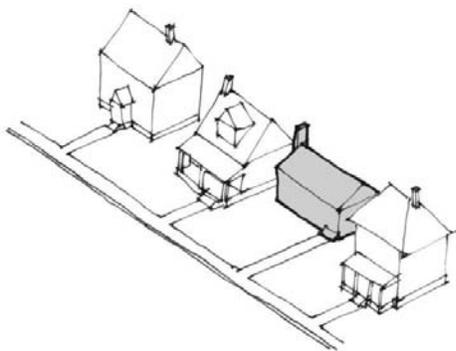
appearance to those used historically. New materials may be used if their appearances are similar to those of the historic building materials. Examples of acceptable new building materials are cement fiber board, which has the crisp dimensions of wood and can be painted, and standing seam metal roofs, preferably finished with a red or dark color.

Finishes similar to others in the district should be used. If brick, closely match mortar and brick colors. If frame, match lap dimensions with wood or composite materials, not vinyl or aluminum siding.

Details and textures should be similar to those in the neighborhood (trim around doors, windows and eaves; watercourses; corner boards; eave depths, etc.)



*The second house from the right is not compatible with the other three houses: it is too tall, too large in massing, and oriented the wrong direction.*



*The second house from the right is not compatible with the other three houses: it is too short, too small in massing, lower foundation, and setback too far from the street.*

## VI. DESIGN GUIDELINES FOR SITE DESIGN

Both the neighborhood setting and the individual building site are important to consider when altering an existing building or constructing a new one. The character-defining elements of the neighborhood, as they relate to individual structures, should be maintained. These include set-backs; entrance orientation; placement and character of landscaping; circulation systems and surfacing; the placement of parking areas; lighting; mechanical systems and service areas.

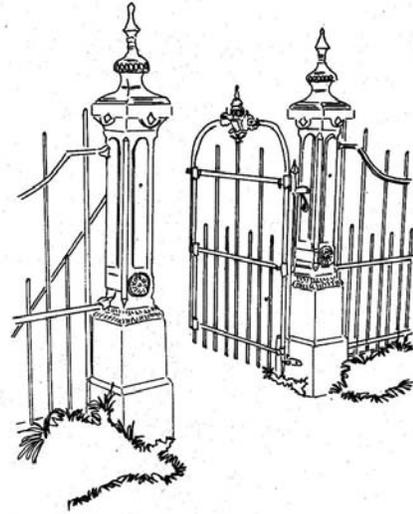
### A. LANDSCAPE FEATURES

**Objective:** Landscape features, that are original or historic (50 years or older), and that are important in defining the overall character of the property, should be identified, retained, and preserved. Some examples are sidewalks, curbs, and parking areas; brick or stone retainer walls; stepping blocks; furnishings such as lights, fences, or benches; landforms such as terracing; historic plant material, beds and planting areas; water features and garden art.

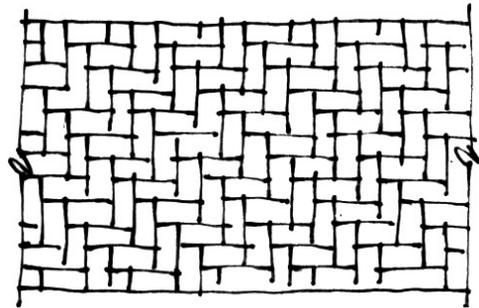
Care should be taken if archaeological features are evident. (Notify the Arkansas Archaeological Survey or the Arkansas Historic Preservation Program.)

Although landscape plant materials do not require approval of the Historic District Commission, native and traditional plants should be considered. Maintain historic or early landscaping, especially trees and shrubs. Keep new landscape patterns in relation to the neighborhood. Character-defining architectural features of a building should not be concealed with landscape material. However, plants can help conceal mechanical systems (air conditioners), handicap access ramps, and trash containers and can help achieve privacy.

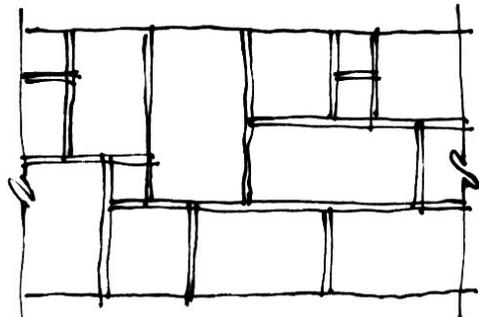
Historic streetscapes include curbs and sidewalks with planting space between them, street trees, retaining walls, iron or low wooden fences and gates, with front yards between the sidewalk and the house. Historic Streetscapes in front of commercial or institutional buildings may have been different than residential streetscapes in respect to street orientation, fencing and planting spaces.



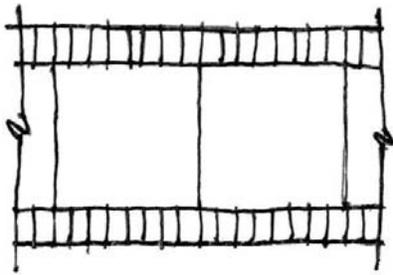
*MacArthur Park's impressive Collection of cast iron should be preserved and maintained (523 E 6th St.).*



*Plan view of a brick sidewalk laid in a herringbone pattern.*



*Plan view of a sidewalk laid in cut stone pavers of various sizes.*



*Plan view of concrete sidewalk with brick edging.*

### **1. Sidewalks:**

Sidewalks that are original to the property or district should be preserved. If they have deteriorated and are dangerous, replace them with similar materials (stone, brick or concrete.) Newly introduced sidewalks should be brick or smooth concrete in patterns, dimensions, colors, and placement like original or early sidewalks in the district. They should not be asphalt or concrete surfaced with aggregate or pebbles.

### **2. Planned Green Space:**

Green space between streets and sidewalks, frequently planted with grass and street trees should be retained. Plant appropriately sized trees, so that they will not conflict with overhead utility lines.

### **3. Fences and Retaining Walls:**

Fencing on street frontage & front yard—36"

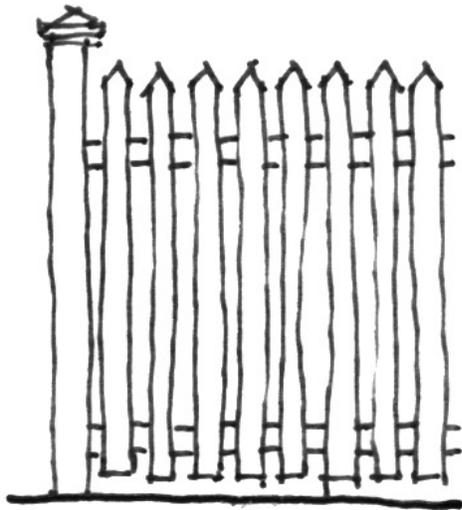
Rear yard fencing—72"

Iron, wood, stone, or brick fences or walls that are original to the property (at least 50 years old) should be preserved. If missing, they may be reconstructed based on physical or pictorial evidence. Sometimes a low stone or brick wall supports an iron or wooden fence.

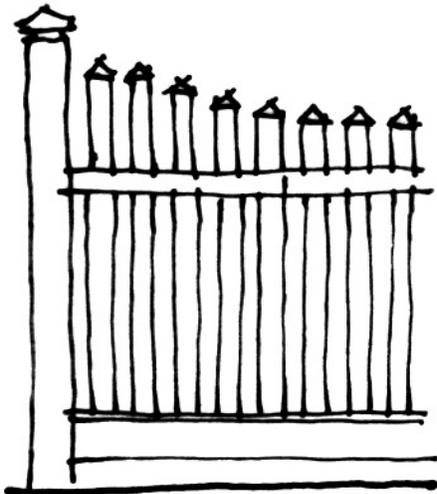
Fencing material should be appropriate to the style and period of the building. Cast iron fences were common through the Victorian period and should be retained and maintained. Wrought iron and bent wire fences are also historic.

Fences may be located in front, side, or rear yards, generally following property lines. Fences with street frontage should be no taller than three feet (36") tall. On wood fences, pickets should be no wider than four inches (4") and set no farther apart than three inches (3"). The design shall be compatible with and proportionate to the building. For larger scale properties, fence heights should be appropriate to the scale of the building and grounds.

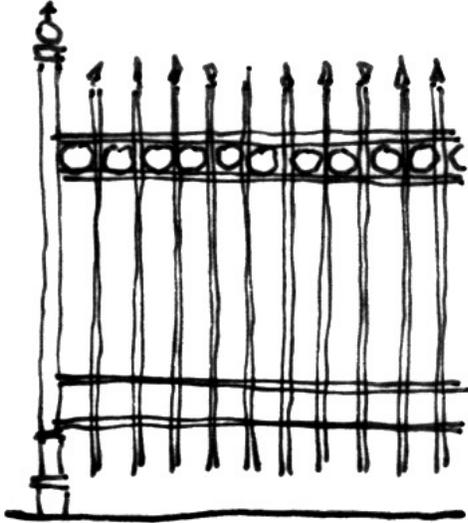
Fences in the rear yards and those on side property lines without street frontage may be 72" tall. The privacy fence should be set back from the front façade of the structure at least halfway between the front and back walls of the main structure. Wood board privacy fences should be made of flat boards in a single row (not stockade or shadowbox), and of a design compatible with the structure. Chain-link fences may be located only in rear yards, where not readily visible from the street, and should be coated dark green or



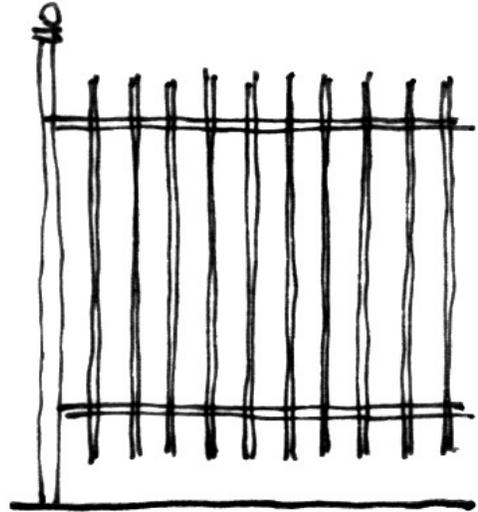
*Wood fence with flat wood pickets*



*Wood fence with square wood pickets with varying heights of pickets.*



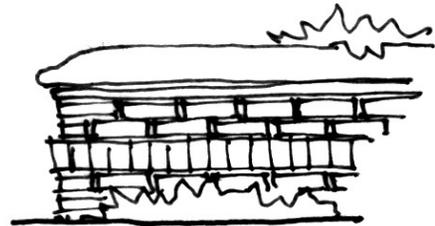
*Ornate ornamental iron fence.*



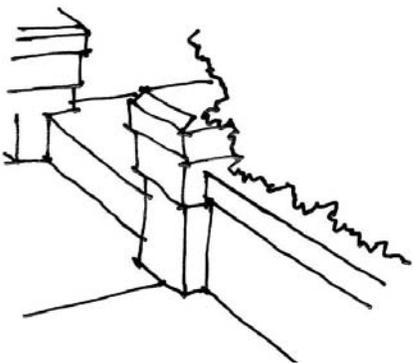
*Simple metal ornamental iron fence.*



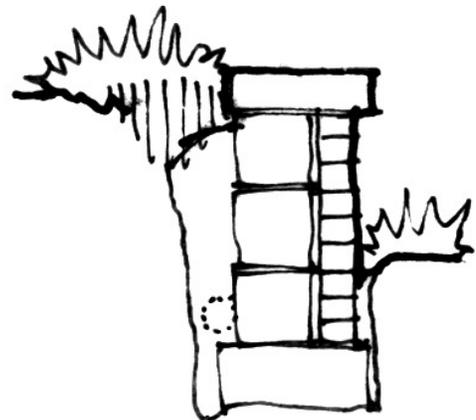
*Landscape Retaining wall with brick running bond with a cast concrete or stone cap.*



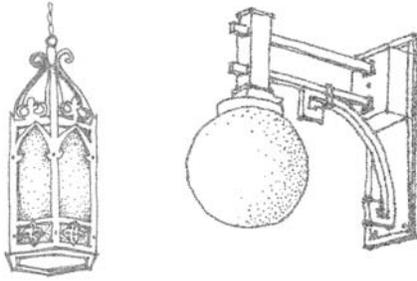
*Retaining wall with watertable accent brick pattern.*



*Historic retaining walls should be preserved or repaired (523 E 7th St.).*



*Section of retaining wall of concrete block and brick veneer.*



*(Image at left 511 Rock St., right 301 E. 7th St.)*

black. Screening with plant material is recommended.

Fences should not have brick, stone, or concrete piers or posts unless based on pictorial or physical evidence. Free-standing walls of brick, stone, or concrete are not appropriate.

New retaining landscape walls are discouraged in front yards. Certain front yards that are in close proximity to the sidewalk may feature new walls that match the materials of the building and be consistent with historic walls in the neighborhood. Landscaping walls should match the materials of the building and be consistent with historic walls in the neighborhood.



*Proper placement of sconces at entry.*

## **B. LIGHTING**

Lighting original to the property, either attached to the building or free-standing, should be retained and maintained.

### **1. Lighting attached to a building**

Original lights should be preserved. If fixtures are added, they should be from the period of the structure, or if new, simple in design, based on traditional designs of the early twentieth century. They should be mounted on porch ceilings or on the exterior wall adjacent to the primary entrance. Fixtures to avoid are carriage lamps or any fixtures evocative of a period earlier than the building.

### **2. Freestanding lights**

Post-mounted lights for residences should not exceed ten feet in height and should be brass, copper, or painted metal on posts of wood, cast iron, or painted metal. Small footlights rather than freestanding post-mounted lights are more appropriate for walkways and driveways. Streetlights should reflect the period and style of the neighborhood and streetscape.



*Proper placement of pendant at entry.*

### **3. Security lighting**

These lights such as flood lights, should intrude as little as possible on the integrity of the neighborhood. They should be mounted on secondary and rear facades. Shields should focus the light down, not at neighboring property.

**C. PARKING AREAS, DRIVEWAYS, CURB CUTS AND PAVING**

Accommodations for automobiles should be as unobtrusive to the historic neighborhood as possible.

**1. Residential Parking:**

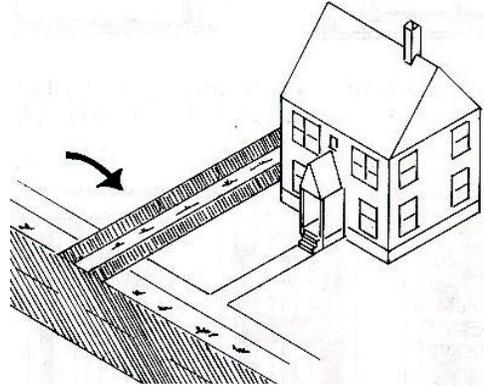
Parking areas and garages for houses should be located in the rear of the house, with entrance from an alley or from a side driveway. Parking should not be in the front yard. Original designs, materials, and placement of driveways should be preserved. If the driveway must lead from the street through a side yard to parking in the rear, brick or concrete tracks or narrow strips are recommended, with grass or ground cover filling the median. Side or rear driveways should be gravel or smooth concrete, not asphalt, aggregate, or brick

**2. Commercial, Office, and Institutional Parking:**

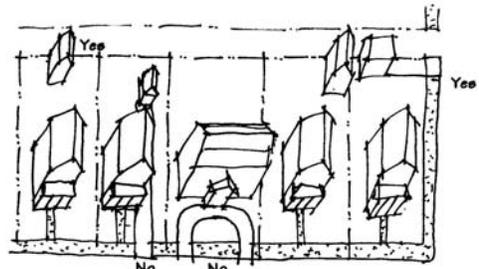
When houses or buildings are used for commercial, office, school, church, apartments, or other institutional use, parking should be located in rear yards. If this is not possible, parking may be in a side yard but located to the rear of the front wall of the structure. Fencing or shrubbery should screen the parking area. Parking lots between buildings should align edge screening with the front façades of adjacent buildings and the side property lines. Parking areas should be surfaced with gravel or concrete, not asphalt, aggregate, or brick. For security lighting, please refer to Lighting on the previous page.

**3. Curb Cuts:**

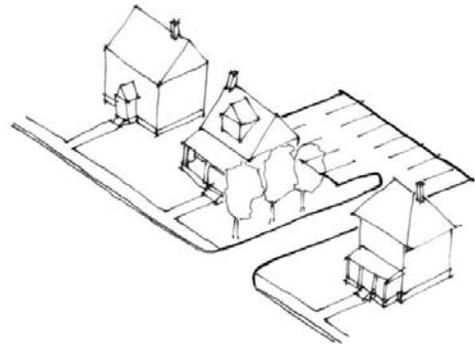
Curb cuts should be avoided unless necessary to access new parking areas. The new curbing should be constructed to match the historic or traditional curb cuts in the district in size, color, materials, and configuration.



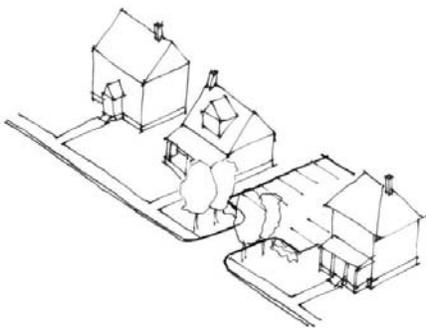
*Ribbon Driveways are appropriate.*



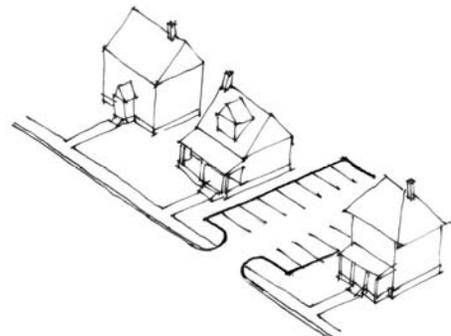
*Appropriate driveway locations.*



*Parking lots sited in rear yards are appropriate.*



*Parking lots should be sited in alignment with adjacent buildings and screened with*



*Parking lots should not extend to the sidewalk and be left unscreened.*

## **D. MECHANICAL SYSTEMS AND SERVICE AREAS**

Mechanical systems and service areas should be as unobtrusive to the historic neighborhood as possible.

### **1. Heating, Air Conditioning units, and Ceiling Fans:**

HVAC units should be located where not readily visible from the street and should be screened with shrubbery or fencing. Window air-conditioners should be located in windows on the rear or side façades and should not result in the removal or replacement of the original window sash or surround. Ceiling fans on porches should be mounted high enough so that they cannot be seen from the street.



*Satellite dishes should be painted to match their background, but the LNB cannot be painted.*

### **2. Electrical and Gas Meters:**

Electrical and gas meters and other mechanical equipment should be located on the rear façade.

### **3. Garbage collectors:**

Large metal containers for garbage at multi-family or institutional sites should be located in the rear and screened from street view with fencing or shrubbery. Garbage collectors on rollers, used by the City for residential customers, should be concealed from view except on the day of trash pickup.

### **4. Satellite Dishes:**

The locations of end user satellite dishes should not detract from the character defining elements of individual structures or of the character of the neighborhood since

they are an element of a much later period than most structures in the neighborhood. Satellite dishes should be installed where they are the least obtrusive in location to preserve visual esthetics while maintaining reception qualities. The satellite dish should not be visible from the street. Suggestions are to mount them on rear or side slopes of roofs, on posts in rear or side yards, on fences or other places not visible from street. When visible from the street, if mounted under the eave of the building, the satellite dishes can be less obtrusive than on the roof. If visible from the street, they should be painted with an exterior matte finish non-lead based paint to match the color of the background of the building. The LNB (Low Noise Block converter), sometimes called the eye, cannot be painted without interference to your reception. This part receives the reflected satellite beam and sends the signal to your satellite receiver. The LNB or eye on your dish is located on the arm on your dish just in front of your dish.

### **5. Solar Collectors:**

Solar energy panels should be located on rear sections of the roof, behind dormers or gables or other areas not visible from the street.

### **6. Recreational Structures:**

Recreational structures, such as swimming pools, children's play equipment, or exercise equipment,

should be located in the rear yard and screened with shrubbery or fences.

## E. SIGNS

Signs should be subordinate to the architecture and overall character throughout the district. Historic signs should be preserved, including “ghost” signs on the sides of buildings.

### 1. Attached to Building:

Signs attached to a building should not cover or obscure architectural features. Signs may be painted on windows, doors, or small panels at entrances or on awnings. Small signs may be flush-mounted on a building wall; may be hung on porches between posts; or may project from the structure. A sign on a masonry wall should be mounted in the mortar, not the masonry.

### 2. Free-Standing:

Free-standing signs should be low, small, and constructed of wood or a non-shiny finish. The recommended size should not exceed six square feet in area. These signs should be located in landscaped areas. All ground mounted (free standing) signs in the UU zoning district must be approved by the Board of Adjustment in addition to the Historic District Commission. Examples of appropriate signs are illustrated to the right. For signs in the R4-A district, please consult Staff for further information.

### 3. Materials for signs:

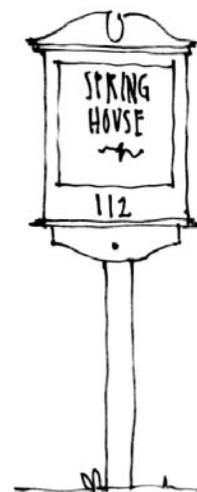
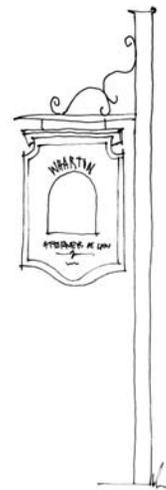
Materials used for signs should be traditional, such as finished wood, glass, copper, or bronze, not plywood, plastic, unfinished wood, neon or other internally lighted materials, or flashing lights. Materials should be compatible with the building materials.

### 4. Design of signs:

The design of the signs should be appropriate to the building, in size, lettering, and style. Business logos or symbols are desirable. If several businesses share a building, coordinate the signs. Flashing, rotating, moveable, or portable signs should not be used.

### 5. Lighting of signs:

Lighting of signs should be from remote sources, preferably from the ground aimed directly at the sign and shielded from street view. Lighting should not use visible bulbs, internal sources or luminous paint.



*Examples of appropriate signage: top—dual post, middle—single post hung, and bottom—single post fixed.*



## VII. GUIDELINES FOR RELOCATION AND DEMOLITION

Preserving and restoring buildings on their original sites should be a priority for all significant structures, which contribute to the overall character of an historic district. However, if the use of the land, on which the building is situated, must significantly change and therefore requires removal of an historic structure, relocating the building within the district is an acceptable alternative to demolition.

Many historic districts encourage vacant lots to be filled with historic structures, which need to be moved from their original sites. This may be appropriate if the building is compatible with the district's architectural character in regards to style, period, height, scale, materials, and the setting and placement on the new lot. The new foundation walls should be compatible with the architectural style of the building and the surrounding buildings. The Little Rock Office of Planning can advise anyone contemplating relocating a building of the applicable regulations and permits.

Demolition of significant buildings, which contribute to the historic or architectural integrity of an historic district, should not occur. The loss of a "contributing" historic building diminishes the overall character of the district and could jeopardize the National Register Historic District status. Demolition by neglect occurs when routine maintenance procedures are not followed, allowing damage from weather, water, insects or animals. Proper routine maintenance and/or rehabilitation are strongly recommended.

Care should be taken when reviewing for an application for demolition of a structure that was not 50 years old at the time of the survey, but are now or close to 50 years old at the time of application. If the district was resurveyed, these buildings may be contributing, but may not be contributing. These applications should be taken on a case by case basis and carefully examine the architecture of the individual building as well as their context within the district.

Under certain conditions, however, demolition permits may be granted by the Historic District Commission:

1. The public safety and welfare requires the removal of the building, as determined by the building or code inspector and concurring reports commissioned by and acceptable to the LRHDC from a structural engineer, architect, or other person expert in historic preservation.
2. Rehabilitation or relocation is impossible due to severe structural instability or irreparable deterioration of a building.
3. Extreme hardship has been demonstrated, proven, and accepted by the LRHDC. Economic hardship relates to the value and potential return of the property, not to the financial status of the property owner.
4. The building has lost its original architectural integrity and no longer contributes to the district.
5. No other reasonable alternative is feasible, including relocation of the building.

Demolition of secondary buildings (garages, sheds, etc.) may be appropriate if they have substantially deteriorated (requiring 50% or more replacement of exterior siding, roof rafters, surface materials, and structural members.)



## VIII. GUIDELINES FOR COMMERCIAL STRUCTURES

The primary goal in historic commercial districts is to identify, retain and preserve the character-defining elements of streetscapes and of individual buildings. These elements include mass, scale, building and roofing form, building and roofing materials, placement of windows and doors, and general architectural character. Removing inappropriate, non-historic alterations can help reveal the historic character of buildings.

Existing storefronts on commercial buildings should be preserved if original. Storefront features, which have deteriorated, should be repaired rather than replaced. If replacement of the original storefront is necessary due to significant deterioration, replace with features which the original in design and materials.

Previously remodeled storefronts should be restored based on pictorial or physical evidence of the original design. If the original storefront design and features cannot be determined, a traditional storefront arrangement with features, materials, and proportions typical of similar buildings of the same style, period, and neighborhood should be installed.

### A. TREATMENT OF ORIGINAL MATERIALS

*Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.* (Secretary of the Interior's Standard #5)

Objective: Original materials should be preserved, whenever possible. They should be visible, not covered with artificial materials. Original materials include masonry walls; metal structural and decorative features; glass, such as clear and plate glass, glass bricks, and opaque glass tiles; awnings; and signs.

#### 1. Preserve, Repair or Replace Original Materials

*Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.* (Secretary of the Interior's Standard #6)

Historic building materials on commercial structures should be preserved. Masonry should be cleaned or repaired according to guidelines in Maintenance Advice (Appendix I.) Metal elements should be maintained appropriately, including cast iron façades; sheet metal cornices and storefronts; cast or rolled metal doors, window sash, entablatures, and hardware.

#### 2. Retain the Visibility of Original Materials

*The historic character of a property shall be retained and preserved. The removal of historic materials or the alteration of features and spaces that characterize a property shall be avoided.* (Secretary of the Interior's Standard #2)

The application of synthetic wall materials, such as metal and vinyl siding, has long been discouraged by preservationists because the placement of these materials may seal the wall and cause the underlying structure to rot. If existing rotted wood or rusted metal is not removed, the structural integrity of the building is at risk due to unseen progressive decay. The application of artificial materials also covers up

character-defining details of a building. Sometimes ornamentation is even removed to facilitate the new application.

### 3. Maintain Original Materials

*Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken in the gentlest means possible.* (Secretary of the Interior's Standard #7)

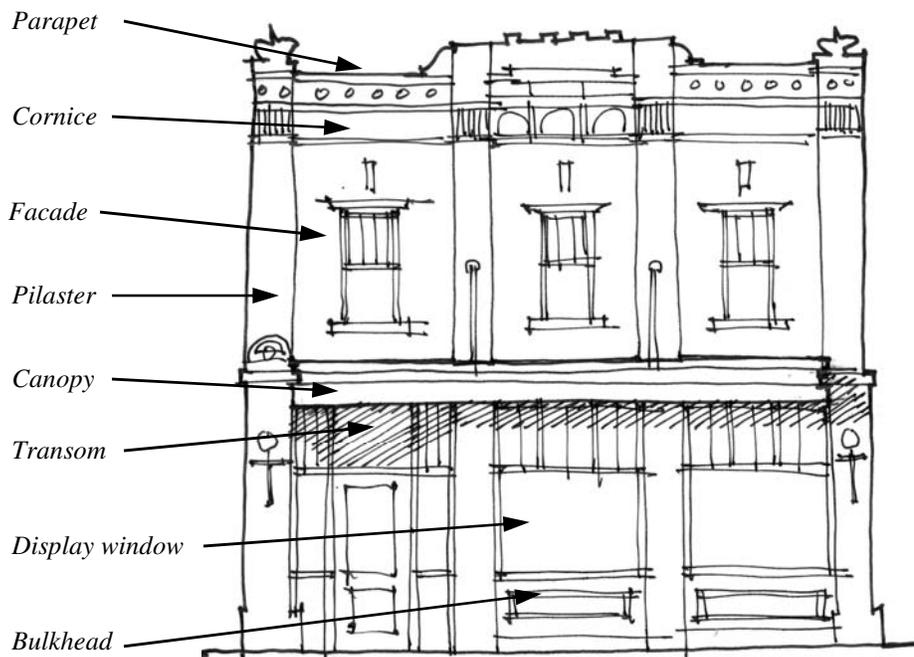
Exterior surfaces should be maintained through appropriate regular treatments. Masonry walls of brick or stone should be cleaned only when necessary to halt deterioration or to remove heavy soiling. Professionals should perform the cleaning, using detergent cleansers or chemical agents. Care must be taken not to introduce moisture or chemicals into the building. Paint should not be removed if it is firmly attached to, and therefore protecting, the masonry surface. Brick should not be painted unless it is extremely mismatched from earlier alterations or cannot withstand weather. Refer to the Maintenance Advice (Appendix I) for specific recommendations regarding repointing, cleaning and treatments of masonry walls.

Historic commercial buildings commonly used metals, including cast iron, lead, tin, zinc, copper, bronze, brass, steel; less frequently, nickel alloys, stainless steel, and aluminum were used. Metals should be protected from corrosion.

## B. INDIVIDUAL BUILDING ELEMENTS

*Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.* (Secretary of the Interior's Standard #5)

Objective: Original building elements that contribute to the historic significance of a commercial



*Elevations of a historic Commercial Structure*

structure are qualities that should be preserved whenever feasible. Rehabilitation work should not destroy the distinguishing character of the property or its environment. Replacement of missing architectural elements should be based on accurate duplications or original features. New materials should match those being replaced in design, color, texture, and other visual qualities. The design should be substantiated by physical and/or pictorial evidence.

### **1. Storefronts on Commercial Structures:**

The street-level storefront of a commercial building was crucial in the functions of advertising and merchandising. Many storefronts used bay windows, cast iron columns, and recessed entrances. Existing storefronts on commercial buildings should be preserved, if original, or rehabilitated appropriately to the style of the building and the neighborhood.

#### **A. Doors:**

Original storefront doors should be preserved and maintained. Traditional entrance arrangements, either recessed or flush with the sidewalk, should be maintained. If the original door design is unknown, replace with a single light (glass area) door design, not solid paneled door, decorative doors, or any door based upon a different historical period or style.

#### **B. Display windows:**

Display windows should be maintained in the same configuration as original. Window mullions or framing should be of wood, copper, or bronze metal. Clear, rather than tinted glass should be used for storefronts. If privacy or shade is required, use interior shades or blinds.

#### **C. Bulkheads:**

Preserve, maintain, or repair bulkheads (kickplates) where they exist. Do not remove original bulkhead panels.

### **2. Upper Levels of Commercial Structures:**

Preserve, maintain, or repair the original appearance and details on the upper level(s) of commercial buildings.

#### **A. Cornices:**

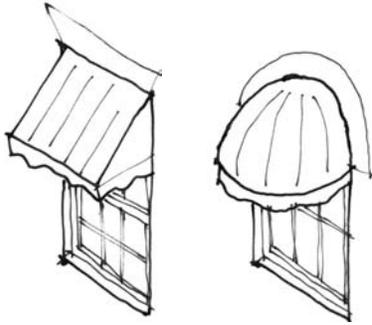
Whether of brick, concrete, terra cotta, or metal, cornices should be visible, not concealed or covered with modern materials.

#### **B. Architectural details**

Brick corbelling, inlaid brick and concrete patterns, or clay tile roofs, etc. should not be removed or concealed. Replace missing architectural features and remove non-historic facades, which conceal the original façade and cornice. Decorative architectural features should not be added where none existed.

#### **C. Windows:**

Since windows changed styles with architectural trends, they are an important indicator of the historic character of a structure. They also usually cover a large proportion of the visible façade. Window sashes should be preserved, maintained, or repaired according to size, number and arrangement of lights, materials, and decorative detailing. Windows should be visible, not concealed, enclosed, or covered. If privacy or shade is required, use interior shades, blinds or exterior awnings.



*Rectangular windows should have shed awnings; arched awnings are appropriate for arched windows.*

### **3. Awnings on Commercial Structures:**

Awnings may be added to commercial buildings if physical or pictorial evidence exists. Awnings should be of a traditional design, materials, and placement. Canvas, acrylic, or vinyl-coated materials are preferable to fixed metal or wood awnings.

### **4. Light Fixtures on Commercial Structures:**

Preserve, maintain, or repair exterior historic light fixtures. If historic light fixtures do not exist or require replacement, concealed light fixtures, fixtures of a simple design, or fixtures appropriate to the period of the building should be used.

Security lighting should intrude as little as possible on the integrity of the neighborhood. They should be mounted on secondary or rear facades. Shields should focus the light down, not at neighbors.

### **5. Signs on Commercial Structures:**

Signs on commercial buildings should be in proportion to the building and should be made of historic materials, such as finished carved wood, glass, copper, or bronze letters. Signs of plastic, plywood, or unfinished wood are not appropriate.

Signs should be placed at traditional locations, such as on storefront beltcourses, upper façade walls, hanging or mounted inside windows, or projecting from the face of the building. Lighting for signs should be concealed; up-lit or spot lighting is recommended.

“Ghost” signs (historic painted wall signs, frequently on sides of brick buildings) should be preserved and not removed.

### **6. Garbage Collectors for Commercial Structures:**

Garbage collector units should be located to the rear of the building and screened from street view. Materials to screen garbage collectors should be compatible with surrounding buildings.

### **7. Mechanical systems for Commercial Structures:**

Mechanical systems, such as heating and air conditioning units, electrical connections, exterior stairs and elevators, should be located so that street visibility is minimal.

### **8. Streetscape**

Sidewalks at commercial structures may have historically been paved from the front of the building all the way to the street with no green space available. Street trees may be added to the streetscape in tree wells placed at the back of the curb.



*Commercial node on 9th Street*



*Mid-century modern commercial building at 9th and Cumberland Street.*

Streetscape furniture, benches, planters, etc., should be appropriate for that period and style of building. Check with Staff for franchise information on locating items in the public right-of-way.

### **C. NEW CONSTRUCTION OF COMMERCIAL STRUCTURES**

*New...construction... shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

(Secretary of the Interior's Standard #9)

Construction of new commercial buildings should follow the basic guidelines established in Section V: Design Guidelines for Alterations and Additions and Detached New Construction. Of particular concern to commercial infill are the building orientation (aligning the storefront with neighboring structures); building mass, scale, and form; placement of entrances and windows, and building materials. All should be compatible with the commercial neighborhood.



*Fish Factory Building, 1201 Scott*



*Fire station # 2, 1201 Commerce*

