



DEPARTMENT OF PLANNING AND DEVELOPMENT

723 West Markham Street
Little Rock, Arkansas 72201-1334
Phone: (501) 371-4790 Fax: (501) 399-3435

**STAFF REPORT
ITEM NO. Two.**

DATE: *October 10, 2016*

APPLICANT: *Tommy Lasiter and Ryan Lasiter*

ADDRESS: *1300 S Scott Street*

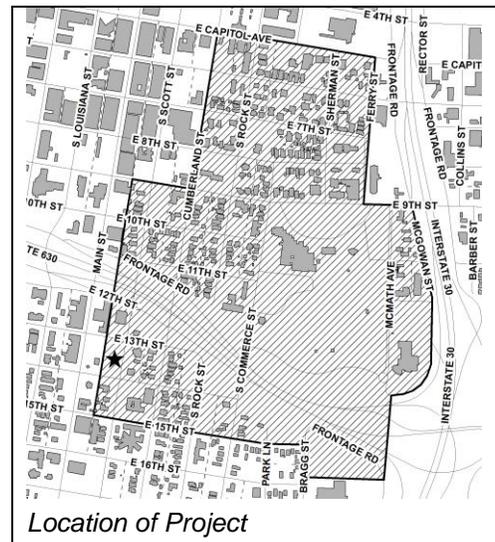
COA REQUEST: *Infill Apartments*

PROJECT BACKGROUND AND DESCRIPTION:

The subject property is located at 1300 S Scott Street. The property's legal description is "Lot 7-12, Block 14, Original City of Little Rock, Pulaski County, Arkansas."

These six lots are currently vacant. This application is for a 35 unit apartment complex composed of two buildings with parking to the rear of the buildings. The building will feature mansard roofs that will house the third floor units.

This project is in the overlap area that is reviewed both by this Commission and the Capitol Zoning District Commission (CZDC). In meetings with the applicant, CZDC and HDC Staff, it was decided that the applicant would file for CZDC first, go through its two committees, have the public hearing at the HDC and then have the final hearing at the CZDC. This item was on the September 20, 2016 agenda and was deferred. The two CZDC committees voted to recommend approval. The vote and minutes of the HDC will be forwarded to the CZDC for their agenda. The project will be up for a vote on October 20, 2016 at CZDC.



Location of Project

PREVIOUS ACTIONS ON THIS SITE:

On July 10, 1997, a COA was approved and issued to the Arkansas Association of Nigerians to build a community center on the middle two lots. In October 1991, a COA was issued to demolish the Urbana Apartments that were located on the north half of this property.



Photo from 13th and Scott Streets



Photo from Daisy Bates and Scott Streets



Photo of fish Factory at 1200 Scott



Photo of Villa Marre at 1321 Scott

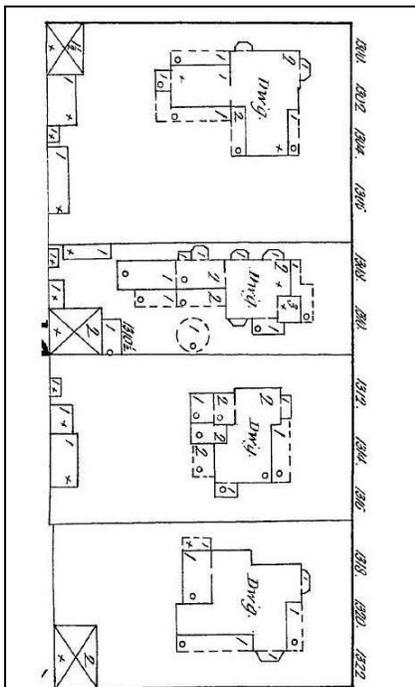


Photo of Rozelle Murphy House at 1301 Scott

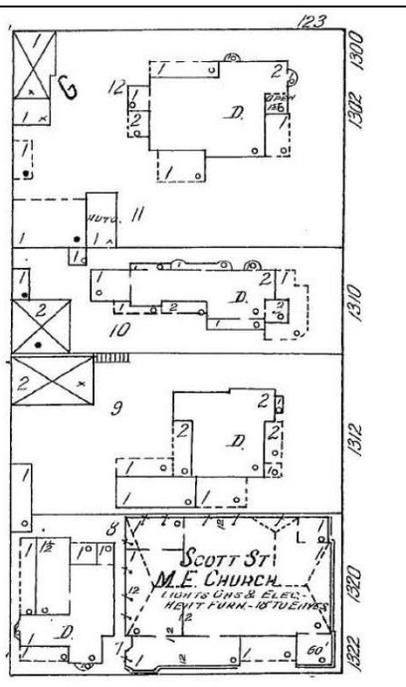


Photo of Garland Mitchell House at 1404 Scott

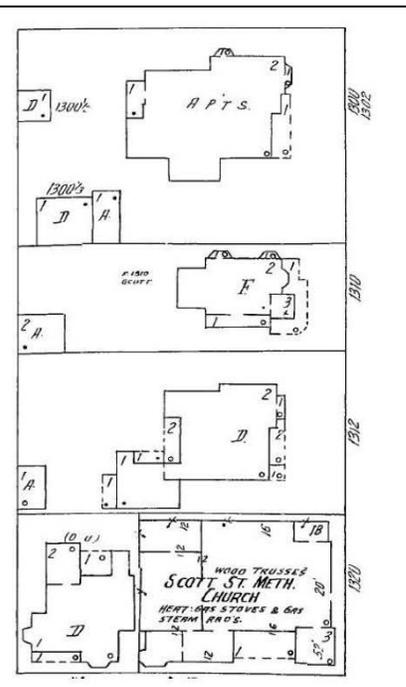
The Sanborn insurance maps shown below depict four houses on this site by the late 1880's. The northern three were two story homes. Over time, homes were either converted into apartments, demolished or moved and reoriented as may have been the case of the home next to the Scott Street M. E. Church. All of the buildings were demolished by 1991 based on aerial photos.



1889 Sanborn Map



1913 Sanborn Map



1950 Sanborn Map

PROPOSAL AND WRITTEN ANALYSIS OF THE APPLICATION BASED OFF OF INTENT AND GUIDELINES:



Perspective view of Scott Street Elevation

This application is for a 35 unit apartment complex composed of two buildings with parking to the rear of the buildings. It will feature mansard roofs that will house the third floor units. The building will feature individual entries to the ground floor units facing the streets with individual porches for each unit. Parking will be to the west of the building off the alley. Some parking will be within a fenced area, some will not.

Authority of the Little Rock Historic District Commission is authorized by the following:

Text of the Arkansas state statute:

14-172-208. Certificate of appropriateness required - Definition.

(a)(1) No building or structure, including stone walls, fences, light fixtures, steps, and paving or other appurtenant fixtures, shall be erected, altered, restored, moved, or demolished within an historic district until after an application for a certificate of appropriateness as to exterior architectural features has been submitted to and approved by the historic district commission. The municipality or county shall require a certificate of appropriateness to be issued by the commission prior to the issuance of a building permit or other permit granted for purposes of constructing or altering structures. A certificate of appropriateness shall be required whether or not a building permit is required.

*(2) For purposes of this subchapter, "exterior architectural features" shall include the **architectural style, general design, and general arrangement of the exterior of a structure, including the kind and texture of the building material and the type and style of all windows, doors, light fixtures, signs, and other appurtenant fixtures.***

(b) The style, material, size, and location of outdoor advertising signs and bill posters within an historic district shall also be under the control of the commission.

The city ordinance states in Sec 23-115. – Certificate of appropriateness required.

Sec. 23-115. Certificate of appropriateness required.

No building or structure, including stone walls, fences, light fixtures, steps and paving or other appurtenant fixtures shall be erected, altered, restored, moved, or demolished within the historic district created by this division until after an application for a certificate of appropriateness as to the exterior architectural changes has been submitted to and approved by the historic district commission. A certificate of appropriateness shall have been issued by the commission prior to the issuance of a building permit or other permit granted for purposes of constructing or altering structures.

Sec. 23-119. Prohibited considerations.

In its deliberations under this article, the commission shall not consider interior arrangement or use and shall take no action hereunder except for the purpose of preventing the construction, reconstruction, alteration, restoration, moving or demolition of buildings, structures or appurtenant fixtures, in the district, which are deemed by the commission to be obviously incongruous with the historic aspects of the district.

The Little Rock City ordinance further states what criteria that new construction shall be reviewed:

Sec 23-120. – General Criteria

(f) Generally, new construction shall be judged on its ability to blend with the existing neighborhood and area of influence. The commission shall consider, but not be limited to the factors listed for alterations in paragraph [subsection] (d).

(d) When evaluating the general compatibility of alterations to the exterior of any building in the historic district, the commission shall consider, but not be limited to, the following factors within the building's area of influence:

- (1) Siting.*
- (2) Height.*
- (3) Proportion.*
- (4) Rhythm.*
- (5) Roof area.*
- (6) Entrance area.*
- (7) Wall areas.*
- (8) Detailing.*
- (9) Facade.*
- (10) Scale.*
- (11) Massing.*



Urbana Apartments (demolished in 1991) (Photo courtesy CZDC)

The guidelines state on page 53 under Section V. Design Guidelines for Alterations and Additions and Detached New Construction:

B. NEW CONSTRUCTION OF PRIMARY AND SECONDARY BUILDINGS

...related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(Secretary of the Interior's Standard #9)

...related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(Secretary of the Interior's Standard #10)

New construction of primary and secondary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings in the neighborhood. Although they should blend with adjacent buildings, they should not be too imitative of historic styles so that they may be distinguished from historic buildings. (Note: A new building becomes too imitative through application of historic architectural decoration, such as gingerbread, vergeboards, dentils, fish-scale shingles, etc. These kinds of details are rarely successful on a new building. They fail to be accurate, usually too small and disproportionate versions of authentic ones, and should be avoided.)

New construction of secondary structures, such as garages or other outbuildings, should be smaller in scale than the primary building; should be simple in design but reflect the general character of the primary building; should be located as traditional for the neighborhood (near the alley instead of close to or attached to the primary structure); and should be compatible in design, form, materials, and roof shape.

1. Building Orientation:

The façade of the new building should be aligned with the established setbacks of the area. Side and rear setbacks common to the neighborhood should be upheld.

2. Building Mass and Scale:

New buildings should appear similar in mass and scale with historic structures in the area. This includes height and width.

3. Building Form

Basic building forms and roof shapes, including pitch, which match those used historically in the area should be used. Location and proportions of entrances, windows, divisional bays, and porches are important. Also consider heights (foundation, floor-to-ceiling, porch height and depth.)

4. Building Materials

Building materials that are similar to those used historically for major surfaces in the area should be used. Materials for roofs should be similar in appearance to those used historically. New materials may be used if their appearances are similar to those of the historic building materials. Examples of acceptable new building materials are cement fiber board, which has the crisp dimensions of wood and can be painted, and standing seam metal roofs, preferably finished with a red or dark color.

Finishes similar to others in the district should be used. If brick, closely match mortar and brick colors. If frame, match lap dimensions with wood or composite materials, not vinyl or aluminum siding.

Details and textures should be similar to those in the neighborhood (trim around doors, windows and eaves; watercourses; corner boards; eave depths, etc.)

The MacArthur Park Historic District Guidelines for Rehabilitation and New Construction are in keeping with the criteria set forth in the state statute and city ordinance as to what can be reviewed in an application for a Certificate of Appropriateness for new construction.

The statute and ordinance require the Commission to evaluate new construction based on the following criteria:

- Architectural style
- General design
- General arrangement of the exterior of a structure, including the kind and texture of the building material and the type and style of all windows, doors, light fixtures, signs, and other appurtenant fixtures
- Siting
- Height
- Proportion
- Rhythm
- Roof area
- Entrance area
- Wall areas
- Detailing
- Facade
- Scale
- Massing

The Guidelines state on page 63 concerning signs:

Signs should be subordinate to the architecture and overall character throughout the district. Historic signs should be preserved, including "ghost" signs on the sides of buildings.

1. Attached to Building:

Signs attached to a building should not cover or obscure architectural features. Signs may be painted on windows, doors, or small panels at entrances or on awnings. Small signs may be flush-mounted on a building wall; may be hung on porches between posts; or may project from the structure. A sign on a masonry wall should be mounted in the mortar, not the masonry.

2. Free-Standing:

Free-standing signs should be low, small, and constructed of wood or a non-shiny finish. The recommended size should not exceed six square feet in area. These signs should be located in landscaped areas. All ground mounted (free standing) signs in the UU zoning district must be approved by the Board of Adjustment in addition to the Historic District Commission. Examples of appropriate signs are illustrated to the right. For signs in the R4-A district, please consult Staff for further information.

3. Materials for signs:

Materials used for signs should be traditional, such as finished wood, glass, copper, or bronze, not plywood, plastic, unfinished wood, neon or other internally lighted materials, or flashing lights. Materials should be compatible with the building materials.

4. *Design of signs:*

The design of the signs should be appropriate to the building, in size, lettering, and style. Business logos or symbols are desirable. If several businesses share a building, coordinate the signs. Flashing, rotating, moveable, or portable signs should not be used.

5. *Lighting of signs:*

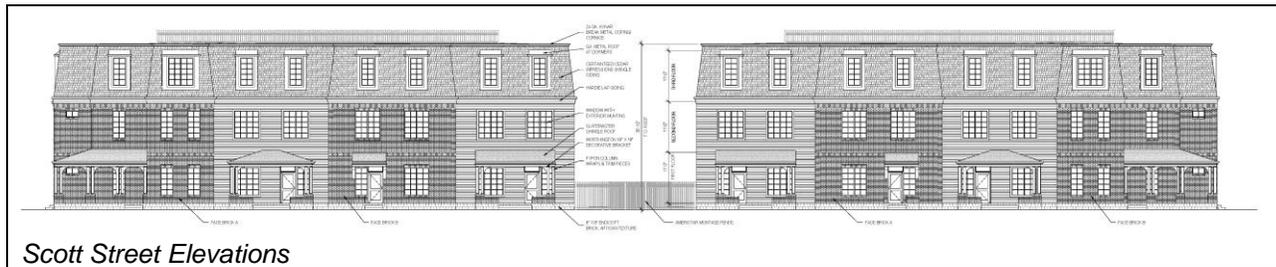
Lighting of signs should be from remote sources, preferably from the ground aimed directly at the sign and shielded from street view. Lighting should not use visible bulbs, internal sources or luminous paint.

ARCHITECTURAL STYLE

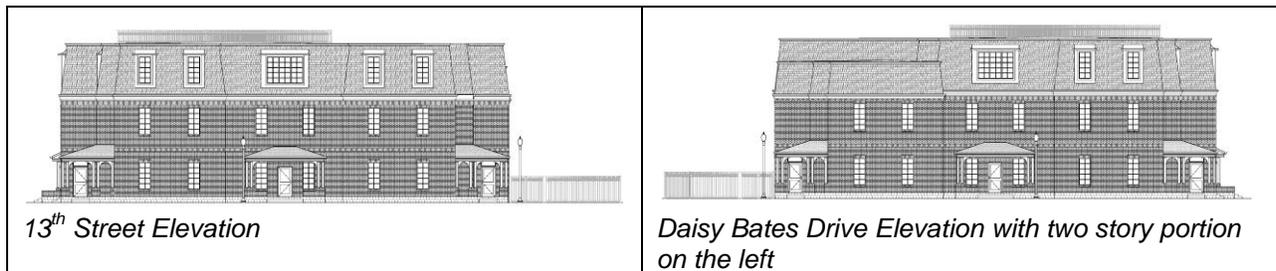
The architectural style of the building is a nod to the Villa Marre and Second Empire style. The Second Empire style was prevalent in the United States between 1860 and 1880. Second Empire style is characterized by the mansard roof and to a lesser degree iron cresting above the upper cornice. This style house was not common in Little Rock. The Villa Marre across the street at 1321 Scott and the Packet House (McDonald-Wait-Newton House) at 1420 Cantrell are two most notable examples.

GENERAL DESIGN

The units are split into two buildings; both “L” shaped fronting the street with parking behind. They are two stories with the third floor behind the mansard roof. Units on the first floor will feature individual porches and exterior entry doors with sidewalks to the street. The facades facing 13th Street and Daisy Bates Drive are all brick on both floors. The Scott street elevations have alternating brick and HardiePlank lap siding to simulate row houses. The porches are a combination of hip and shed roofs. Part of the south building facing Daisy Bates Drive is two stories.



Scott Street Elevations



GENERAL ARRANGEMENT OF THE EXTERIOR OF A STRUCTURE, INCLUDING THE KIND AND TEXTURE OF THE BUILDING MATERIAL AND THE TYPE AND STYLE OF ALL WINDOWS, DOORS, LIGHT FIXTURES, SIGNS, AND OTHER APPURTENANT FIXTURES

SITING

The buildings will have a 25' setback from 13th Street and Daisy Bates Drive. Referencing the Contribution and Non-Contributing map on page 17 of this report, the setbacks from Daisy Bates and from 13th street are similar to the setbacks of the Villa Marre and the Rozelle Murphy House. There will be a 14' setback from Scott Street. The parking will be off the alley with no additional curb cuts on the streets. There will be an entrance to the center of the complex mid-block on Scott Street. That entry between the two buildings could be utilized by guests visiting tenants on the second and third floors since the public stairs are to the rear of the buildings.

HEIGHT The floor to ceiling height will be 11' floor to floor and a maximum of 16" from grade to the first floor. A total height of 35'-10" to the roof/coping trim is anticipated.

Staff referenced the PAgis website for topographical elevations of the existing structures. Those heights of the roofs above sea level are in parentheses in the text below.

The Villa Marre (354) and the Rozelle Murphy House (354) across Scott Street are one and one half story houses. The Garland Mitchell House (356) at 1404 Scott is a two story with a shallow pitched roof. The Fish Factory (341) at 120 Scott is a one story commercial building. The East Side School apartments building (374) is three stories. The convenience store (329) outside of the district at Main and Daisy Bates is also a one story building. Buildings in the 1300 block of Main Street (varies up to 342) has one and two story commercial buildings. According to the PAgis website, the bare ground on the project site is around 316. With the height of the proposed building at 36', that would make it at 352 elevation which is in the middle of the existing heights in the area. This calculation does not include the 3 foot fence screening of the HVAC condenser units that will be located on the roof.

PROPORTION

The proportion of the building on the Scott Street façade is 3 wide to 1 tall. On the other streets, it is a 2.77 wide to 1 tall. These proportions are wider than the structures built as residential across the street, but not as wide as some in the area. The difference of brick and siding on the Scott Street elevations do give a more vertical appearance if they are viewed as row houses.

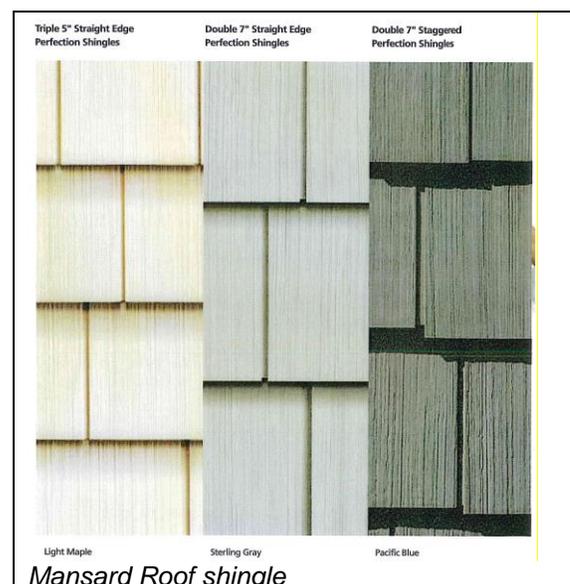
RHYTHM

The buildings have a rhythm of windows, doors and porches that is discernable and predictable.

ROOF AREA

Roof: The bottom slope of the mansard roof is a 7:1 pitch. The roofing material on the bottom slope of the mansard roof will be CertainTeed Cedar Impressions, Double 7 straight edge perfection shingles. They are a polymer resin product. The flat portion of the roof will be a TPO with 1/4" per foot minimum slope. The walls of the units are staggered, therefore the roof will also be staggered and more complex, not one continuous line. The roofs on the porches are hipped or shed roofs are covered in Slatemaster shingles.

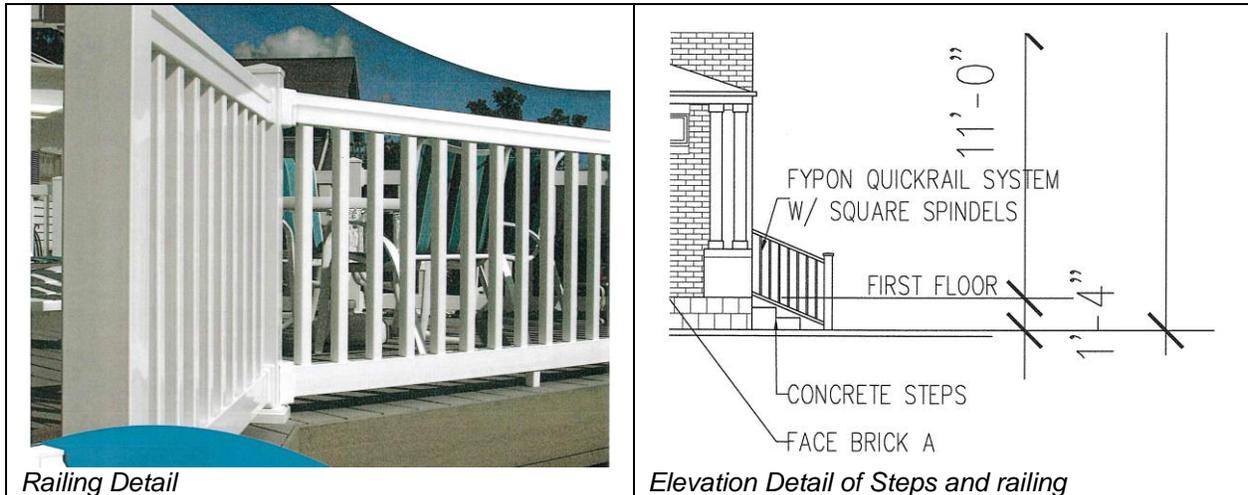
Satellite Dishes: None are planned at the time. If



future tenants want one, they will be installed on the roof behind the fencing.

ENTRANCE AREA

The steps to the house will be broom finished concrete and the railing will be the Fypon Quick Rail system. The porches will be approximately 16" off the ground. Some of the porches will feature low brick walls and some brick plinths to support the columns. The columns are paired and will feature brackets to visually connect the columns to the porch headers. See Porch Bracket under Detailing below.

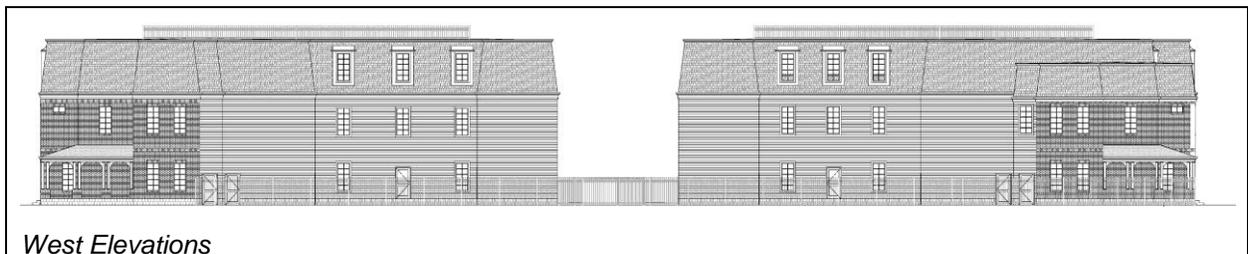


WALL AREAS

Foundation: The foundation will be 8"x8" Endicott Brick, Artisan texture.

Walls: Portions of the exterior walls are pushed back and pulled forward to break up the mass of the building. Some have a 4 foot difference and some are 6 foot.

The walls will be either brick veneer or painted HardiePlank lap siding with 4" Hardie Trim at the corners. The elevations show the HardiePlank lap siding 13th installed horizontally. The majority of the walls on the west façade will be HardiePlank. Two types of face brick are noted. The façade on 13th Street will be a different brick from that on Daisy Bates Drive. There are large expanses of wall areas in the areas of the stairwells, electrical and storage closets that do not have windows or other architectural features that break the plane of the HardiePlank siding. These are on the rear of the building but will be visible from 13th Street and from Main Street.

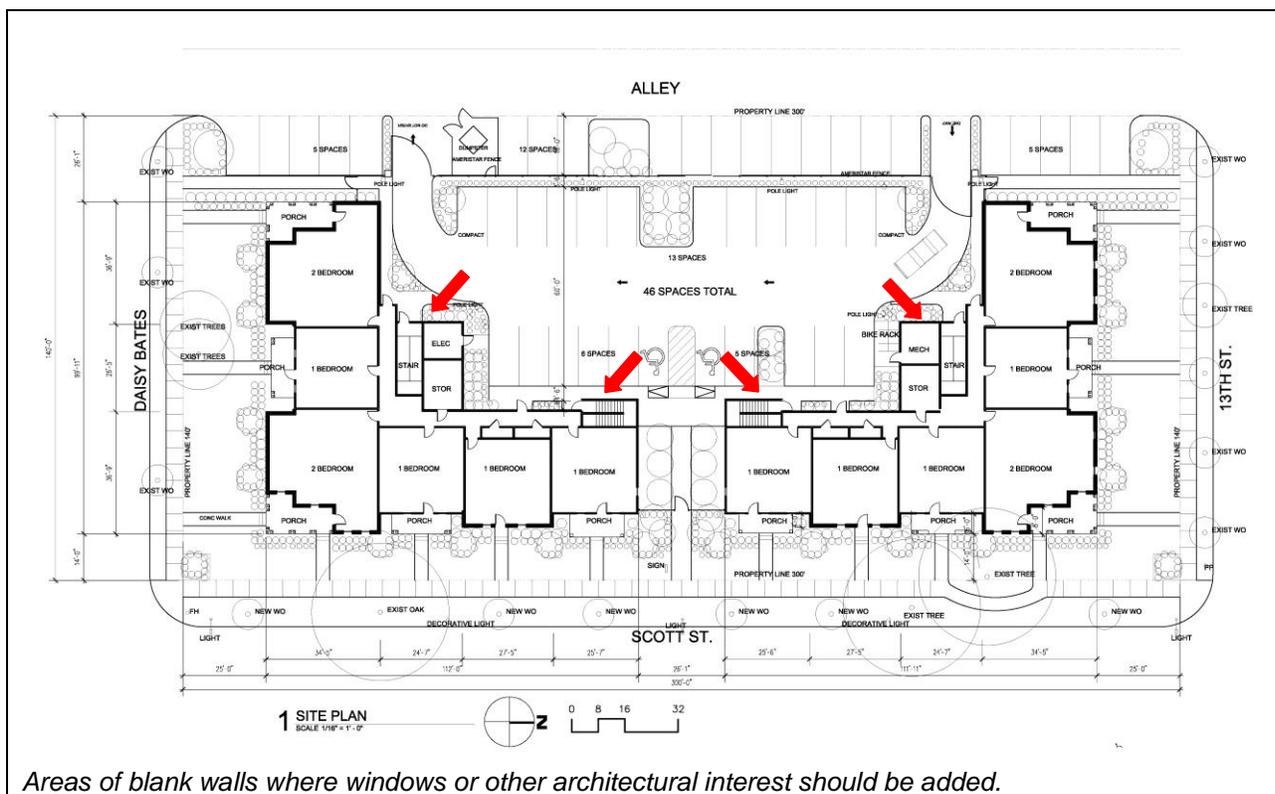


West Elevations

The dimension of the width of the HardiePlank was not specified nor was the texture. The trim boards around doors and windows, particularly abutting the HardiePlank was not specified either.

Windows: Windows are to be a vinyl casement window from Comfort View Product, Legend Series 1500. The predominant size is 2'-8" x 6'-0" in single and ganged configurations as shown on the elevations. The muntin line pattern is shown as 2x5.

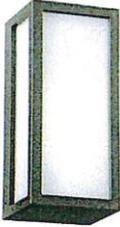
The applicant should consider adding windows or other architectural elements to break up the west walls in areas shown by red arrows below. Blank walls are not typical in a historic district.



Areas of blank walls where windows or other architectural interest should be added.

Doors: Exterior doors are to be a Premium Woodgrain Fiberglass door in an oak texture finish. The door will feature two inset panels and no glass. The electrical and storage room doors will be a flush painted door, not paneled.

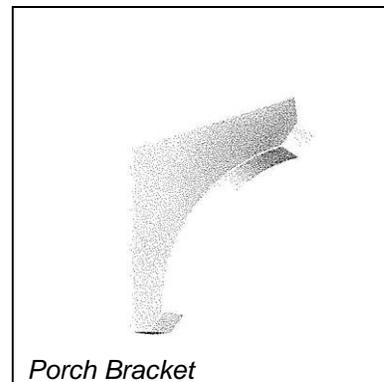
Lighting: Lighting under the porches will be PLC Lighting Dorato 9.75in Bronze wall sconce. Wall mounted security lights and the pole mounted parking lot lights are of the same series; Cree LED lights, EW7L series. The acorn top lights in the handouts will be placed in the public right of way and are not part of the Commissions review. The location of the pole mounted lights are shown in a plan at the end of the staff report.

	 <p>4-7/8"H x 13-7/8"W x 17-1/4"L (Shown with mounting arm, order FOR USE IN 0° ORIENTATION, (DOWNLIGHT POSITION) ONLY</p>	
<p><i>Sconce under porches</i></p>	<p><i>Pole mounted parking lot lights</i></p>	<p><i>Wall mounted security lights</i></p>

Gutters: No gutters are planned at this time.

DETAILING

On the first floor porches, decorative brackets will be used. They are from Worthington Millwork are made of polyurethane. The breakpoints between the two different slopes of the roofs will feature a 24 gauge metal coping cornice. The soffit of the toe of the roof will also feature an exaggerated coping/cornice. The paired columns are also a detail that will be different than other multifamily developments in the recent past.



Porch Bracket

FAÇADE

The front façade, as determined by CZDC, is either 13th Street or Daisy Bates Drive. Those facades are all brick with the mansard roof covering the third floor. The façade facing Daisy Bates Drive has a two story portion at the western edge. The Garland Mitchell House is wood lap siding while the Rozelle Murphy, the Villa Marre and the Fish Factory are brick. The convenience store is concrete block. The façade features a center porch and two corner porches. The center unit sets back from the others in an effort to break up the mass of the wall.

SCALE

The scale of the building as to height is comparable with the other buildings in the area. The foot print of the building will be larger than the buildings built as single family, but smaller than the school and auditorium to the southeast and smaller than the Fish Factory to the north. The proportion of the building is wider than it is tall, which again is in between the larger and smaller buildings in the area. District wide, these two buildings will not be the largest nor the tallest. Historically, the district has three story residential buildings and some new construction that is three stories.

MASSING

The massing of the building will seem to be larger than it is since the buildings are “L” shapes with the legs of the buildings fronting the streets as opposed to if they were the opposite and created an open area at the intersection. The mansard roof can bring the overall perceived massing down with the third floor being behind the roof.

Site Design

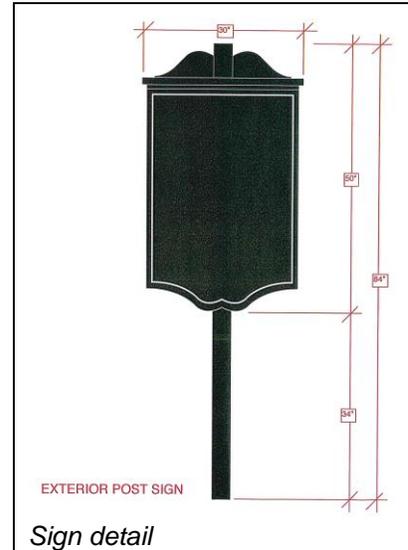
Lighting: See lighting above for parking lot lighting fixtures.

Mechanical Systems: The compressors for the HVAC units will be located on the top of the roof, behind the 3' high fence/widows walk railing shown on the roof.

Signage: The sign specified will be a pole mounted sign 84" tall and 30" wide with the sign face to be approximately 7.25 square feet. The sign will be a powder coated metal sign located midblock off of Scott Street near the opening between the two apartment buildings. No light source was described.

Dumpster: The dumpster will be located off the alley to the west. The fencing at the dumpster is the Ameristar 6' high montage Plus Classic 2/3 rail with a solid sheet of metal behind it to screen the dumpster.

Walks/Sidewalks/Drives: New sidewalks are planned in the City right of way for the entirety of the project. One section will be curved to go around an existing tree that will be preserved. Seventeen sidewalks to the building will be perpendicular to the city sidewalks and provide access to individual units or access into the complex. The driveways into the project will utilize the existing alley curb cuts.



Landscaping: Foundation planting will be placed around the building as well as the parking lot landscaping required by city code. The cover letter states that no other landscape features other than steel edging are proposed to be used. A total of five trees are slated to be preserved and an additional five in the city right of way are proposed to be preserved.

Fencing on site: Fencing is the Ameristar 6' high montage Plus Classic 2/3 rail. The fencing will be in the rear of the site and enclose part of the parking lot area. A section of fence will be along Scott Street between the two buildings.

The Guidelines state on page 53 that new construction should blend based on Building Orientations, Building Mass and Scale, Building Form and Building Materials.

The block where this is proposed to be built is three quarters vacant. The setbacks of the buildings in the surrounding blocks and this block vary greatly. This project does attempt to define a setback that is somewhat of an average of the area. Capitol Zoning District Commission has deemed that the front and rear setbacks are on the north and south and the side yard setbacks are on Scott and the alley sides. With that said, the smaller of the setbacks are shown on Scott Street and the larger on the other streets. Staff feels that the Building Orientation is appropriate.

The scale of the building as to height is comparable with the other buildings in the area. The foot print of the building will be larger than some, but smaller than others. The proportion of the building is wider than it is tall, which again is in between the larger and smaller buildings in the area. District wide, these two buildings will not be the largest nor the tallest. The massing of the building will seem to be larger than it is since the buildings are "L" shapes with the legs of the buildings fronting the streets. The mansard roof can bring the overall perceived massing

down with the third floor being behind the roof. Staff feels that the Building Mass and Scale are appropriate.

The building form of these buildings, two “L” shaped buildings are unique to this area, but not to the district (Phillips Apartments at 10th and Cumberland). The roof shape and type are consistent with the area. The Mansard roof is similar to the one at the Villa Marre at 1321 Scott Street and the Garland Mitchell house at 1404 Scott employs a low pitch roof. The use of entry doors off the street, porches, and walks, along with differences in brick and Hardiplank siding, break up the mass of the building. Floor to ceiling heights are similar to other residential uses and the porch depths are of a useable depth at 6 feet. Staff feels that the Building Form is appropriate.

Brick, wood plank siding, and iron fencing have been commonly used in the district since the earliest buildings. This project proposes to use a mixture of brick and Hardiplank siding for the walls. The mansard roof will be of a faux cedar shake product which emulates real cedar shakes that were used in the past. That use has been discontinued because of fire concerns among others. The fencing is a metal fence with traditional scale pickets but in a more simplistic design. Staff feels that the Building Materials are appropriate.

NEIGHBORHOOD COMMENTS AND REACTION: At the time of distribution, there were no comments regarding this application.

STAFF RECOMMENDATION: Approval with the following conditions:

1. Obtaining a building permit.
2. Light source for signage will be ground mounted and low wattage.
3. All satellite dishes will be installed on roof behind fencing.



DEPARTMENT OF PLANNING AND DEVELOPMENT

723 West Markham Street
Little Rock, Arkansas 72201-1334
Phone: (501) 371-4790 Fax: (501) 399-3435

APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

- 1. Application Date: 9/9/10
2. Date of Public Hearing: 10/10/10 at 5:00 p.m.
3. Address of Property: 1301 SCOTT
4. Legal Description of Property: LOTS 7-12 BLOCK 1A ORIGINALCITY
5. Property Owner (Printed Name, Address, Phone, Email): TOMMY LASITER
STEPHENS BLDG; 111 CENTER, STE 1510
LITTLE ROCK, AR 72201
6. Owner's Agent: (Printed Name, Address, Phone, Email): FRANK BARKSDALE
100 RIVER MARKET AVE, SUITE 301, LR AR
501-376-0370
7. Brief Project Description: 35 UNIT APARTMENT COMPLEX
8. Estimated Cost of Improvements: \$3,100,000
9. Zoning Classification: Is the proposed change a permitted use? Yes No
10. Signature of Owner or Agent: [Signature]

(The owner will need to authorize any Agent or person representing the owner at the public hearing).

NOTE: Should there be changes during construction (design, materials, size, etc.) from the approved COA, applicant shall notify Commission staff and take appropriate actions. Approval by the Commission does not excuse applicant or property from compliance with other applicable codes, ordinances or policies of the city unless stated by the Commission or staff. Responsibility for identifying such codes, ordinances, or policies rests with the applicant, owner, or agent.

(This section to be completed by staff):

Little Rock Historic District Commission Action

___ Denied ___ Withdrawn ___ Approved ___ Approved with Conditions ___ See Attached Conditions

Staff Signature: _____ Date: _____

Revised 8/2012

Application

Mr. Brian Minyard
Department of Planning and Development
723 West Markham St.
Little Rock, AR 72201

RE: 1300 Scott Street Apartments

Dear Mr. Minyard:

On behalf of Tommy and Ryan Lasiter, we are pleased to submit the 1300 Scott Street Apartment project for your review and consideration. The property is unique in that it lies in both the MacArthur Park and Capitol Zoning districts and is therefore subject to review and requires approval of both committees.

The apartment complex will contain 35 apartments and is slightly over 31,000 square feet in size. The apartments are anticipated to be market rate rent apartments and no federal funding will be used. The buildings are designed as 2-1/2 stories in the Second Empire style and are 35'-10" in height. Currently there are 11- 2 bedroom and 24- 1-bedroom apartments planned. The project has been reviewed and approved by both the Design Review and Mansion Area Committees of the Capitol Zoning District. The final Capitol Zoning Hearing for the project will be held on October 20, 2016.

As a follow up to your questions in the September 13 letter, we offer the following clarifications to materials:

1. Steps to the house: The steps will be broom finished concrete and the railings will be the Fypon quckirail system. Please refer to the attached brochure and sketch.
2. Walls : The walls will be brick veneer or painted HardiePlank Lap siding-smooth with 4" Hardie trim at the corners. The mansard roof siding will be Certainteed Cedar Impressions Double 7 straight edge perfection shingles.
3. The windows will be the Comfort View products Legend Series vinyl window. The predominant size is 2'-8" x 6'-0" in single and ganged configurations as shown on the elevations. The muntin pattern is shown as 2 x 5.
4. The main entry doors are the Premium Oak 2 panel squaretop as attached in the original submittal. The electrical and storage room doors will be a flush painted door, not paneled.
5. The lighting in the parking lot will be an LED shoebox type fixture spaced approximately 50-60' on center see attached. Presently there are 3 shoebox fixtures along Scott St. I am proposing to place two of the Washington Series decorative pole fixtures along Scott Street, one centered between each of the existing shoebox fixtures.
6. We are not planning any gutters and downspouts at this time.
7. The compressors for the HVAC units will be located on the low slope portion of the roof, behind the 3' high fence/widows walk railing shown on the roof.
8. There are no satellite dishes planned at this time, if a tenant requests satellite service we would require it to be mounted on the roof behind the railing out of sight.
9. The Mansard slope is approximately a 7:1 pitch. The remaining roof will be a TPO with ¼"/foot minimum slope.
10. The Mansard Roof will be the Certainteed Cedar Impressions Double 7 stright edge perfection shingle.
11. The fencing shown on the site plan is the Ameristar 6' high Montage Plus Classic 2/3 rail, see attached cut sheet.
12. See attached dumpster fence detail.
13. We plan to replace all sidewalks along Scott, 13th and Daisy Bates with 5' wide 4000 psi air entrained concrete with light broom finish. The walks shown from the public sidewalk to the front doors of the apartments will be 4' wide.
14. Currently we do not anticipate any walls or permanent planting beds from building materials other than normal metal landscape edging.

100 River Market Ave. Ste. 301 Little Rock, AR 72201

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Cover Letter

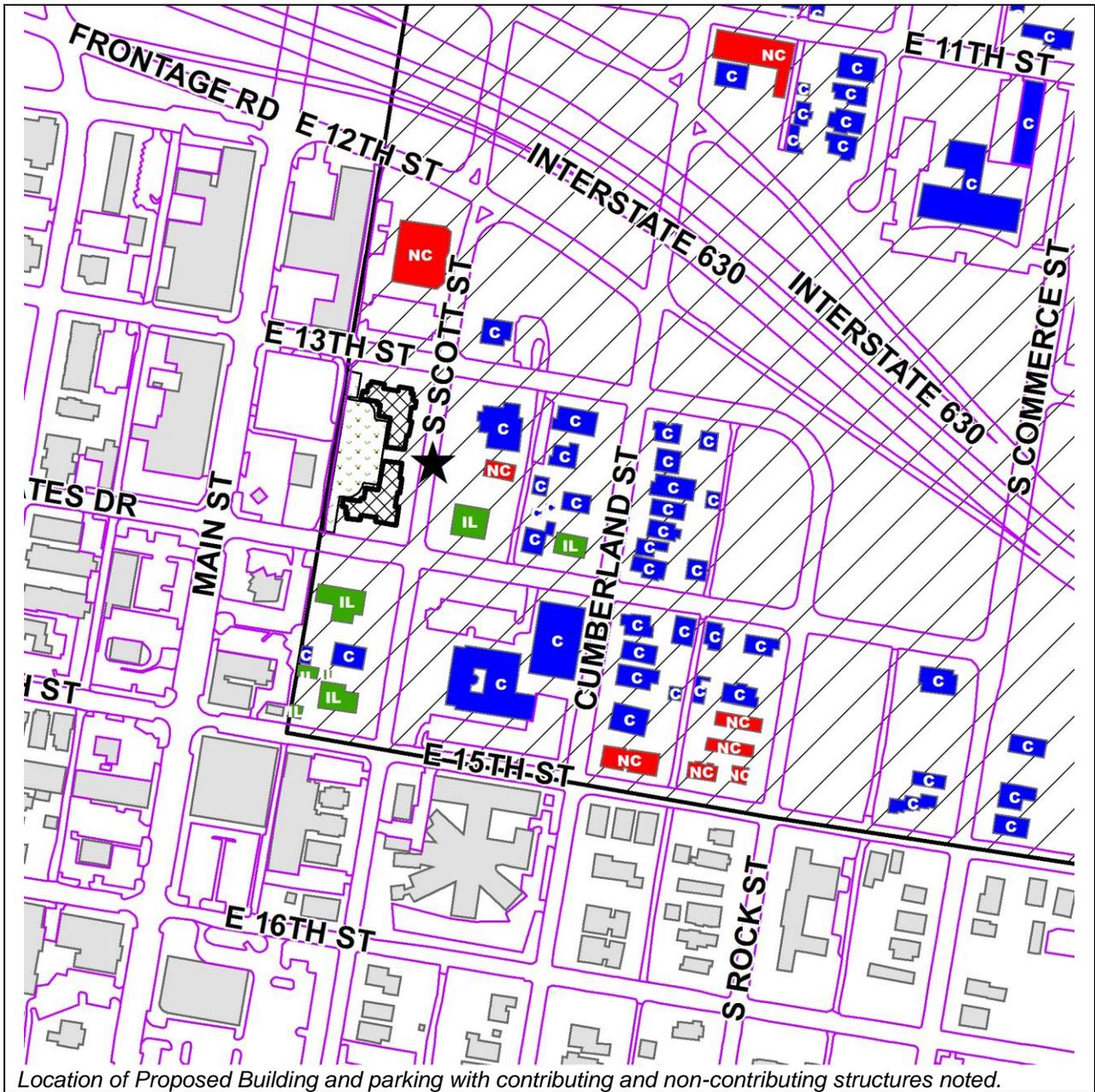
15. The elevations submitted are dimensioned we anticipate 11' floor to floor height a maximum of 16" from grade to the first floor and a total height of 35'-10" to the roof coping/trim.
16. The powdercoated metal sign enclosed with the first submittal will be located off of Scott Street mid-block near the opening between the two apartment buildings.

Sincerely,



Frank Barksdale AIA
Cc Tommy Lasiter
Boyd Maher

Cover Letter continued



Location of Proposed Building and parking with contributing and non-contributing structures noted.

